



# **Estimated Development Cost (EDC) Report**

**70A & 70B Harley Crescent, Condell Park NSW 2200**

**Canterbury-Bankstown Council**

**CLIENT: DW & SL Baxter Pty Ltd**

**REPORT NO.: HMS24045**

## DISCLAIMER

*This Certificate has been prepared for the sole purpose of providing an Estimated Development Cost for DA/CDC Council Submission in relation to 70A & 70B Harley Crescent, Condell Park NSW 2200 only. This Quantity Surveyor Certificate shall not be used for any other purpose.*

*This Estimated Development Cost (EDC) Report is confidential to David Baxter .*

*HMS Group Pty Limited does not accept any contractual or other form of liability for any consequences, loss or damage which may arise as a result of any other person acting upon or using this Estimated Development Cost (EDC) Report in relation to 70A & 70B Harley Crescent, Condell Park NSW 2200.*

*The information contained in this Estimated Development Cost (EDC) Report produced by HMS Group Pty Ltd is solely for the use of David Baxter for the purpose for which it has been prepared for. HMS Group undertakes no duty, nor accepts any responsibility to any third party who may rely upon this document.*

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## INTRODUCTION

HMS Group Pty Limited have undertaken a study of the probable cost of construction for the above project, based on the latest architectural drawings and other information provided by David Baxter.

We have also taken into consideration the proposed method of procurement will be carrying out by DW & SL Baxter Pty Ltd or its nominated builder.

## BRIEF DEVELOPMENT DESCRIPTION

The development proposal comprises the Demolition and Preparatory Works, Structural Modifications, Mechanical, Electrical, and Plumbing (MEP), Interior Fit-Out, Accessibility Enhancements, Waste Management Provisions, Landscaping and External Works at 70A & 70B Harley Crescent, Condell Park NSW 2200.



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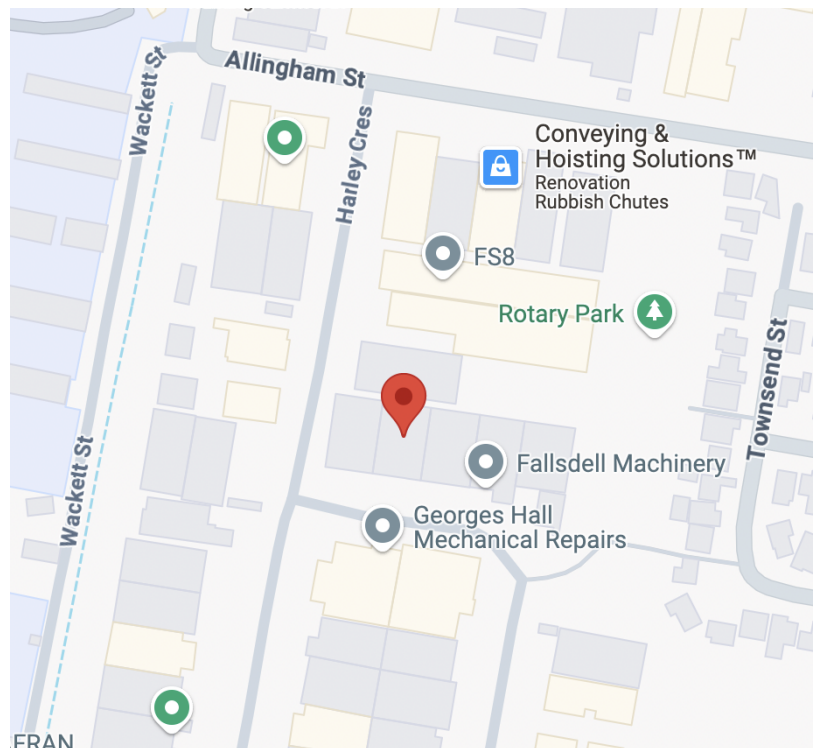
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## PROPERTY DETAILS

<b>ADDRESS:</b>	70A & 70B Harley Crescent, Condell Park NSW 2200
<b>LEGAL DESCRIPTION:</b>	Part 2 SP 20925
<b>COUNCIL:</b>	Canterbury-Bankstown Council

## SITE LOCATION MAP



## QUALITY OF FINISHES

The "Proposed Finishes" of 70A & 70B Harley Crescent, Condell Park NSW 2200 is considered of "Standard Quality", as described in Schedule of Finishes, prepared by HMS Group Pty Limited and based on information supplied by DW & SL Baxter Pty Ltd.

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The quality of finishes proposed are appropriate to the "Type", "Scale" and "Location" of 70A & 70B Harley Crescent, Condell Park NSW 2200.

## EXCLUSIONS

Our Cost Estimate does not include the followings:

- Land Acquisition;
- Marketing and financing;
- Legal costs;
- Project Management;
- Building insurance costs;
- Major services diversions, external connections and/or improvement;
- Amplification / amendment to existing services;
- Underpinning of existing structure;
- Amendments to plans, incomplete documentation;
- Taxes, levies and charges;
- Disabled access;
- Energy and water efficiency;
- Decontamination works(Asbestos Removal,etc.);
- Rock excavation;
- Public domain and external roadworks;
- Authorities Fees (S94 Contribution and the like);
- Contingency allowance.

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## DOCUMENTATION

Our Cost Estimate is based on the Architectural Drawings in *Appendix D*, supplied by DW & SL Baxter Pty Ltd.

## SCOPE OF WORKS

Proposed Change of Use and Renovations Existing Factory Bay for RSPCA NSW to achieve a Veterinary Spey Clinic including:

- **Demolition and Preparatory Works**

Removal of existing non-structural elements and site preparation to facilitate construction activities.

- **Structural Modifications**

Reconfiguration of internal spaces, including the construction of new partitions and adjustments to meet design and operational requirements.

- **Mechanical, Electrical, and Plumbing (MEP)**

Installation and upgrades of systems to support medical equipment, efficient energy use, and compliance with regulatory standards.

- **Interior Fit-Out**

Application of hygienic finishes, installation of flooring, cabinetry, and other fixtures tailored for a veterinary clinic.

- **Accessibility Enhancements**

Modifications to parking, entrances, and pathways to ensure compliance with accessibility regulations.

- **Waste Management Provisions**

Development of a designated waste management area for general, recycling, and medical waste, aligned with environmental standards.

- **Landscaping and External Works**

Preservation of existing landscaping and implementation of minor external repairs to maintain site aesthetics.

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## DESIGN ASSUMPTIONS & PARAMETERS

In the absence of Engineering Drawings/Plans, the proposed structure of 70A & 70B Harley Crescent, Condell Park NSW 2200 is assumed of Conventional Nature, compromising the followings;

- Reinforced concrete soldier piles/block work to lower/upper floor shoring;
- Reinforced concrete strip/pad footings;
- Reinforced concrete columns and floor slabs(Framed structure).

Our Indicative Cost Estimate in relation to 70A & 70B Harley Crescent, Condell Park NSW 2200 is based on the assumption that

the whole development will be constructed in a single stage (i.e. not as staged development). If the building is to be completed in stages, the cost of preliminaries and Building Services may increase.

This Cost Estimate may provide no more than a rough guide to the probable cost of the proposed development. Costs may vary considerably, due to a range of variables:

- Further Geotechnical investigation;
- Structural and services documentation;
- Contract conditions;
- Final PC Items and Provisional Allowances;
- Variations in the proposed fixtures and finishes;
- DA/CDC Conditions.

## PROJECT DOCUMENTATIONS

We certify that we have inspected and considered the following documents in our cost assessment for 70A & 70B Harley Crescent, Condell Park NSW 2200.

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## Estimated Development Cost (EDC) Report

70A & 70B Harley Crescent, Condell Park NSW 2200

HMS24045

DRAWING No	TITLE	REVISION	DATE
4251/0	Cover Sheet	F	28/10/2024
4251/1	Existing Site Plan	F	28/10/2024
4251/2	Existing Floor Plan	F	28/10/2024
4251/3	Ground floor Plan	F	28/10/2024
4251/4	Upper Floor Plan	F	28/10/2024
4251/5	Elevations	F	28/10/2024
4251/6	Sections	F	28/10/2024
4251/7	Electrical Gound Floor	F	28/10/2024
4251/8	Electrical Upper Floor	F	28/10/2024
4251/9	Reflected Ceiling Plan	F	28/10/2024
4251/10	Gases Plan	F	28/10/2024
4251/11	Roof Plan	F	28/10/2024
4251/12	Flooring Layout	F	28/10/2024
4251/13	Recept. / Waiting Room Detail	F	28/10/2024
4251/14	Consult Room Detail	F	28/10/2024
4251/15	Hospital Dogs room Detail	F	28/10/2024
4251/16	Cat Waiting / Cat Sedation Room Detail	F	28/10/2024
4251/17	Prep. / Lab Room Details	F	28/10/2024
4251/18	Surgery 2 / Store Room Details	F	28/10/2024
4251/19	Surgery 1 Room Detail	F	28/10/2024
4251/20	Instrument Room Detail	F	28/10/2024
4251/21	Recovery Room Detail	F	28/10/2024
4251/22	Treatment / Xray Room Detail	F	28/10/2024
4251/23	Ldy / Litter Tray Wash Room Detail	F	28/10/2024
4251/24	Isolation Room Detail	F	28/10/2024
4251/25	Hospital Cats Room Detail	F	28/10/2024
4251/26	Accessible WC Room Detail	F	28/10/2024
4251/27	Kitchen Room Detail	F	28/10/2024

## CONSTRUCTION COST ESTIMATE

Quantity Surveyor's Detailed Cost Report is in *Appendix A*. Also, please refer to *Appendix B* for an Elemental Cost Estimate Summary prepared in accordance with the "Environmental Planning and Assessment Regulation 2000, Part 4, Division 1B, Clause 25J - Section 94A Levy Determination" of proposed cost of development.

A detailed report may be obtained upon request. Our Construction Cost Estimate may be considered as reasonable, based on the proposed level of finishes and in the absence of the Structural and Services drawings, the Contract Documents and DA Conditions.

### ***Environmental Planning and Assessment Regulation 2000***

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**Part 4 Division 1B** Clause 25J

**Section 7.12 - Levy—determination of proposed cost of development**

(1) *The proposed cost of carrying out development is to be determined by the consent authority, for the purpose of a section 7.12 levy, by adding up all the costs and expenses that have been or are to be incurred by the applicant in carrying out the development, including the following:*

- (a) if the development involves the erection of a building, or the carrying out of engineering or construction work—the costs of or incidental to erecting the building, or carrying out the work, including the costs (if any) of and incidental to demolition, excavation and site preparation, decontamination or remediation,*
- (b) if the development involves a change of use of land—the costs of or incidental to doing anything necessary to enable the use of the land to be changed,*
- (c) if the development involves the subdivision of land—the costs of or incidental to preparing, executing and registering the plan of subdivision and any related covenants, easements or other rights.*

(2) *For the purpose of determining the proposed cost of carrying out development, a consent authority may have regard to an estimate of the proposed cost of carrying out the development prepared by a person, or a person of a class, approved by the consent authority to provide such estimates.*

(3) *The following costs and expenses are not to be included in any estimate or determination of the proposed cost of carrying out development:*

- (a) the cost of the land on which the development is to be carried out,*
- (b) the costs of any repairs to any building or works on the land that are to be retained in connection with the development,*
- (c) the costs associated with marketing or financing the development (including interest on any loans),*
- (d) the costs associated with legal work carried out or to be carried out in connection with the development,*
- (e) project management costs associated with the development,*
- (f) the cost of building insurance in respect of the development,*
- (g) the costs of fittings and furnishings, including any refitting or refurbishing, associated with the development (except where the development involves an enlargement, expansion or intensification of a current use of land),*

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- (h) the costs of commercial stock inventory,*
- (i) any taxes, levies or charges (other than GST) paid or payable in connection with the development by or under any law,*
- (j) the costs of enabling access by disabled persons in respect of the development,*
- (k) the costs of energy and water efficiency measures associated with the development,*
- (l) the cost of any development that is provided as affordable housing,*
- (m) the costs of any development that is the adaptive reuse of a heritage item.*

*(4) The proposed cost of carrying out development may be adjusted before payment, in accordance with a contributions plan, to reflect quarterly or annual variations to readily accessible index figures adopted by the plan (such as a Consumer Price Index) between the date the proposed cost was determined by the consent authority and the date the levy is required to be paid.*

*(5) To avoid doubt, nothing in this clause affects the determination of the fee payable for a development application.*

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## ACKNOWLEDGEMENT

I certify that I have:

- Inspected the plans the subject of the application for development consent or for a complying development certificate;
- Prepared and attached an elemental estimate generally prepared in accordance with the Australian Cost Management Manuals from the Australian Institute of Quantity Surveyors;
- Calculated the development costs in accordance with the definition of development costs in Clause 25J of the Environmental Planning & Assessment Regulation 2000 at current prices;
- Included GST in the calculation of development cost; and
- Measured Gross Floor Areas in accordance with the Method of Measurement of Building Areas in the AIQS Cost Management Manual Volume 1, Appendix A2.
- Total Development Cost is \$657,473.34 plus GST (Refer to Appendix A & B for more details).

APPROVED AND SIGNED:



15 / 01 / 2025

Hamish Mehdinezhad

Registered Quantity Surveyor | QS45490 - CQS 53484

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## APPENDIX A - DETAILED COST REPORT

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Professional Fees					Rate/m2	Subtotal
Professional Fees					\$ 30.00	\$ 11,277.00
<b>(A) Subtotal</b>						<b>\$ 11,277.00</b>
Building Construction Cost	Labour/M2	Material/M2	Plant/M2	Subcontract/M2	Approx. Rate/m2	Subtotal
Preliminaries Cost & Margin	\$ 158.59	\$ 198.36	\$ 16.58	\$ 26.12	\$ 399.66	\$ 164,780.07
Demolition	\$ 19.28	\$ 24.11	\$ 2.02	\$ 3.18	\$ 48.59	\$ 20,032.09
Excavation	\$ 8.09	\$ 10.11	\$ 0.85	\$ 1.33	\$ 20.37	\$ 8,400.55
Substructure	\$ 16.79	\$ 21.00	\$ 1.76	\$ 2.77	\$ 42.32	\$ 17,447.30
Columns	\$ 13.68	\$ 17.11	\$ 1.43	\$ 2.25	\$ 34.48	\$ 14,216.32
Upper Floor	\$ 19.28	\$ 24.11	\$ 2.02	\$ 3.18	\$ 48.59	\$ 20,032.09
Staircases & Ramps	\$ 20.52	\$ 25.67	\$ 2.15	\$ 3.38	\$ 51.72	\$ 21,324.48
Roof	\$ 7.46	\$ 9.33	\$ 0.78	\$ 1.23	\$ 18.81	\$ 7,754.36
External Walls	\$ 16.17	\$ 20.22	\$ 1.69	\$ 2.66	\$ 40.75	\$ 16,801.10
Windows and External Doors	\$ 11.19	\$ 14.00	\$ 1.17	\$ 1.84	\$ 28.21	\$ 11,631.53
Internal Walls and Screens	\$ 32.34	\$ 40.45	\$ 3.38	\$ 5.33	\$ 81.50	\$ 33,602.21
Internal Doors	\$ 14.30	\$ 17.89	\$ 1.50	\$ 2.36	\$ 36.05	\$ 14,862.52
Wall Finishes	\$ 29.85	\$ 37.34	\$ 3.12	\$ 4.92	\$ 75.23	\$ 31,017.42
Floor Finishes	\$ 32.96	\$ 41.23	\$ 3.45	\$ 5.43	\$ 83.07	\$ 34,248.41
Ceiling Finishes	\$ 27.99	\$ 35.00	\$ 2.93	\$ 4.61	\$ 70.53	\$ 29,078.84
Fixtures and Fittings	\$ 37.94	\$ 47.45	\$ 3.97	\$ 6.25	\$ 95.60	\$ 39,417.98
Hydraulic Services	\$ 28.61	\$ 35.78	\$ 2.99	\$ 4.71	\$ 72.09	\$ 29,725.03
Fire Protection	\$ 23.63	\$ 29.56	\$ 2.47	\$ 3.89	\$ 59.56	\$ 24,555.46
Mechanical Services	\$ 31.72	\$ 39.67	\$ 3.32	\$ 5.22	\$ 79.93	\$ 32,956.01
Electrical Services	\$ 34.83	\$ 43.56	\$ 3.64	\$ 5.74	\$ 87.77	\$ 36,187.00
External Improvements & Carpark	\$ 36.69	\$ 45.89	\$ 3.84	\$ 6.04	\$ 92.47	\$ 38,125.58
<b>(B) Subtotal</b>	<b>\$ 621.94</b>	<b>\$ 777.87</b>	<b>\$ 65.02</b>	<b>\$ 102.45</b>	<b>\$ 1,567.28</b>	<b>\$ 646,196.34</b>
TOTAL (A+B)						\$ 657,473.34
GST (10%)						\$ 65,747.33
<b>TOTAL (A+B) + GST (10%)</b>						<b>\$ 723,220.68</b>

## APPENDIX B - ELEMENTAL COST ESTIMATE SUMMARY

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Professional Fees	Area (M2)	Approx. Rate/m2	Subtotal
Professional Fees		\$ 30.00	\$ 11,277.00
<b>(A) Subtotal</b>			<b>\$ 11,277.00</b>
Building Construction Cost	%	Approx. Rate/m2	Subtotal
Preliminaries Cost & Margin	25.5%	\$ 399.66	\$ 164,780.07
Demolition	3.1%	\$ 48.59	\$ 20,032.09
Excavation	1.3%	\$ 20.37	\$ 8,400.55
Substructure	2.7%	\$ 42.32	\$ 17,447.30
Columns	2.2%	\$ 34.48	\$ 14,216.32
Upper Floor	3.1%	\$ 48.59	\$ 20,032.09
Staircases & Ramps	3.3%	\$ 51.72	\$ 21,324.48
Roof	1.2%	\$ 18.81	\$ 7,754.36
External Walls	2.6%	\$ 40.75	\$ 16,801.10
Windows and External Doors	1.8%	\$ 28.21	\$ 11,631.53
Internal Walls and Screens	5.2%	\$ 81.50	\$ 33,602.21
Internal Doors	2.3%	\$ 36.05	\$ 14,862.52
Wall Finishes	4.8%	\$ 75.23	\$ 31,017.42
Floor Finishes	5.3%	\$ 83.07	\$ 34,248.41
Ceiling Finishes	4.5%	\$ 70.53	\$ 29,078.84
Fixtures and Fittings	6.1%	\$ 95.60	\$ 39,417.98
Hydraulic Services	4.6%	\$ 72.09	\$ 29,725.03
Fire Protection	3.8%	\$ 59.56	\$ 24,555.46
Mechanical Services	5.1%	\$ 79.93	\$ 32,956.01
Electrical Services	5.6%	\$ 87.77	\$ 36,187.00
External Improvements & Carpark	5.9%	\$ 92.47	\$ 38,125.58
<b>(B) Subtotal</b>	<b>100.00%</b>	<b>\$ 1,567.28</b>	<b>\$ 646,196.34</b>
TOTAL (A+B)			\$ 657,473.34
GST (10%)			\$ 65,747.33
<b>TOTAL (A+B) + GST (10%)</b>			<b>\$ 723,220.68</b>

## APPENDIX C - SCHEDULE OF FINISHES

### Floors:

- **General Areas:** Tarkett Eminent Vinyl Flooring, coved 100mm, waterproofed with Dunlop Damp-Proof or similar.
- **Wet Areas:** Slip-resistant vinyl flooring, coved up walls to ensure hygiene and waterproofing.

### Walls:

- **Internal Walls:** 13mm USG Fiberrock panels on 64mm steel frame walls.
- **Painted Walls:** Low-VOC washable paint in light neutral tones for ease of cleaning.

### Ceilings:

- Rondo Grid Ceiling System with insulation rated at R4.1 for energy efficiency.
- Surface finish in smooth, cleanable material.

### Doors:

- Steel-framed doors with painted finishes, ensuring durability and compliance with fire safety standards.

### Windows:

- Powder-coated aluminum frames with glazing to achieve U-value of 6.70 and SHGC of 0.70.
- Opaque and clear options as per room functionality.

### Fixtures and Fittings:

- **Medical Rooms:** Stainless steel benches and sinks with integrated scrub areas.
- **Cabinetry:** Laminated moisture-resistant cabinets for wet areas and general storage.
- **Cages:** Powder-coated animal cages of varying sizes for recovery and holding areas.

### Lighting:

- LED lights with high-frequency ballasts, maintaining illumination of 400 lux in workspaces.
- Emergency and exit lighting systems compliant with AS/NZS 2293.

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**External Finishes:**

- **Walls:** Rendered and painted brick in light colors; vertical cladding painted dark grey.
- **Roofing:** Existing steel roof with insulation upgraded to R1.3 foil-faced blanket.

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## APPENDIX D - REDUCED ARCHITECTURAL PLANS

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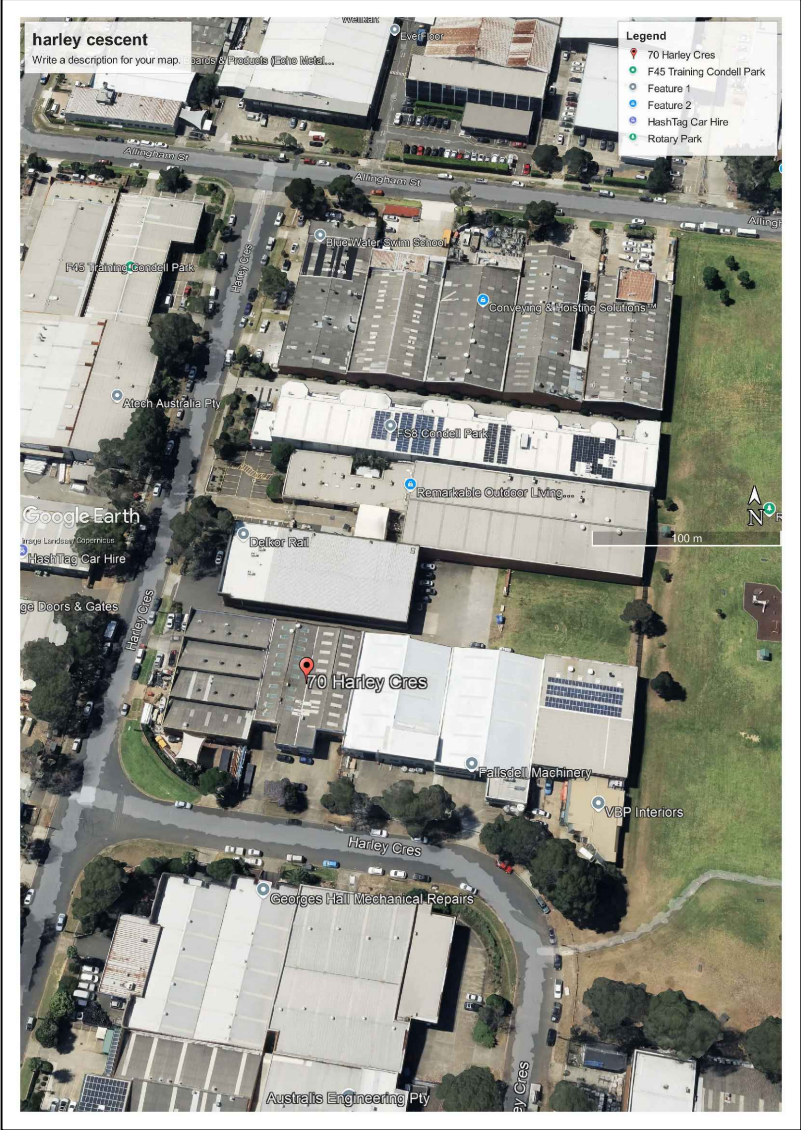
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EXISTING FRONT ELEVATION



LOCATION PLAN

DRAWING LIST

CONSULTANT	DRAWING No	TITLE	REVISION	DATE
Architectural	4251/0	Cover Sheet	F	28/10/2024
	4251/1	Existing Site Plan	F	28/10/2024
	4251/2	Existing Floor Plan	F	28/10/2024
	4251/3	Ground floor Plan	F	28/10/2024
	4251/4	Upper Floor Plan	F	28/10/2024
	4251/5	Elevations	F	28/10/2024
	4251/6	Sections	F	28/10/2024
	4251/7	Electrical Gound Floor	F	28/10/2024
	4251/8	Electrical Upper Floor	F	28/10/2024
	4251/9	Reflected Ceiling Plan	F	28/10/2024
	4251/10	Gases Plan	F	28/10/2024
	4251/11	Roof Plan	F	28/10/2024
	4251/12	Flooring Layout	F	28/10/2024
	4251/13	Recept. / Waiting Room Detail	F	28/10/2024
	4251/14	Consult Room Detail	F	28/10/2024
	4251/15	Hospital Dogs room Detail	F	28/10/2024
	4251/16	Cat Waiting / Cat Sedation Room Detail	F	28/10/2024
	4251/17	Prep. / Lab Room Details	F	28/10/2024
	4251/18	Surgery 2 / Store Room Details	F	28/10/2024
	4251/19	Surgery 1 Room Detail	F	28/10/2024
	4251/20	Instrument Room Detail	F	28/10/2024
	4251/21	Recovery Room Detail	F	28/10/2024
	4251/22	Treatment / Xray Room Detail	F	28/10/2024
	4251/23	Ldy / Litter Tray Wash Room Detail	F	28/10/2024
	4251/24	Isolation Room Detail	F	28/10/2024
	4251/25	Hospital Cats Room Detail	F	28/10/2024
	4251/26	Accessible WC Room Detail	F	28/10/2024
	4251/27	Kitchen Room Detail	F	28/10/2024

Revision		
H	DA PLANS	12/12/2024
F	CLIENT CHANGES	28/10/2024



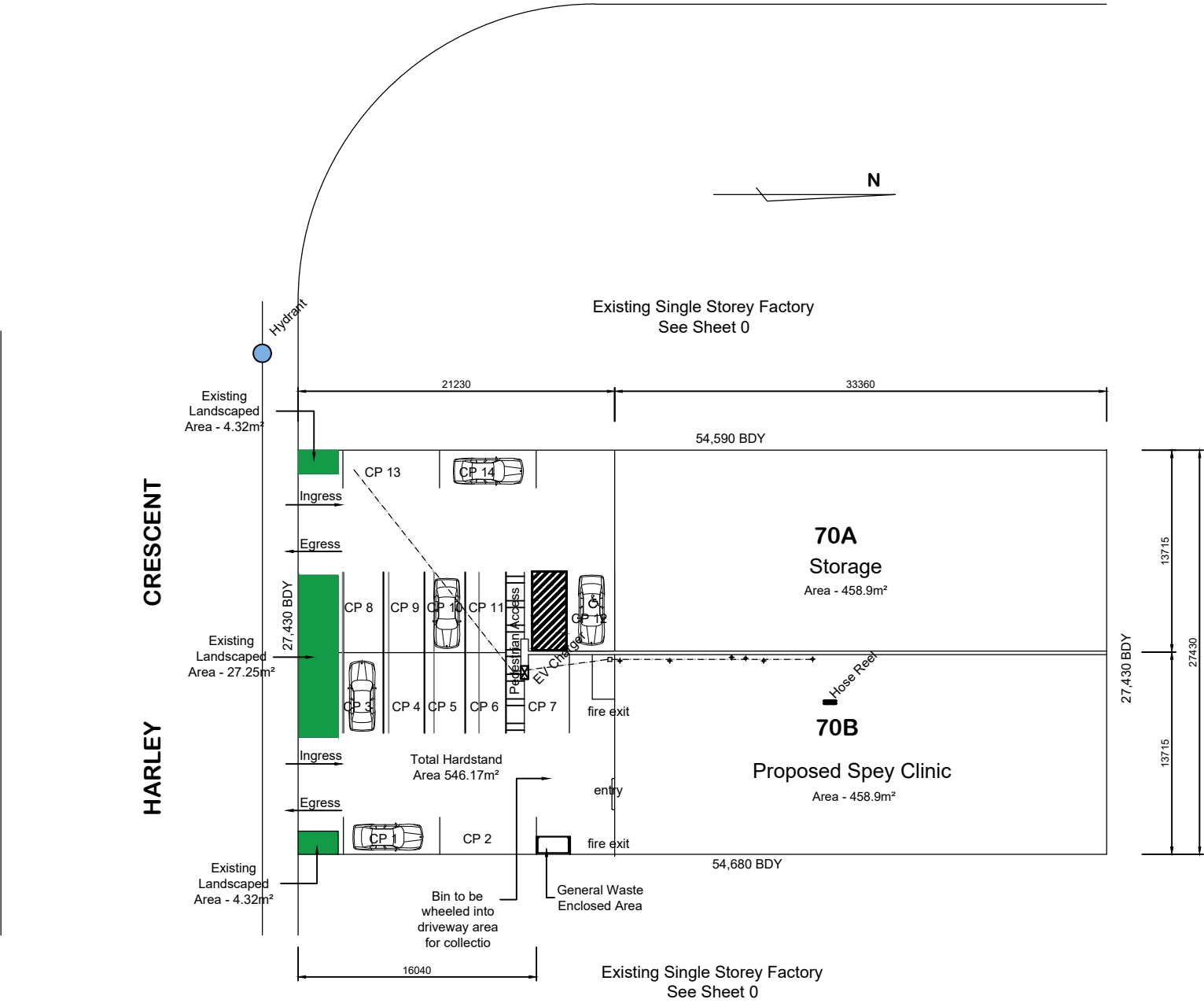
Project: **CHANGE OF USE  
RENOVATION OF EXISTING FACTORY  
70A - 70B HARLEY CRESCENT  
CONDELL PARK  
RSPCA NSW SPEY CLINIC**

Client: **RSPCA NSW  
70A - 70B HARLEY CRESCENT  
CONDELL PARK**

Drawing: **COVER SHEET**

Scale	1 : 100 @ A1 1 : 200 @ A3	Drawn: DWB	Date: 28/10/2024
Revision: H		Date: 28/10/2024	Drawing Number: 4251/0



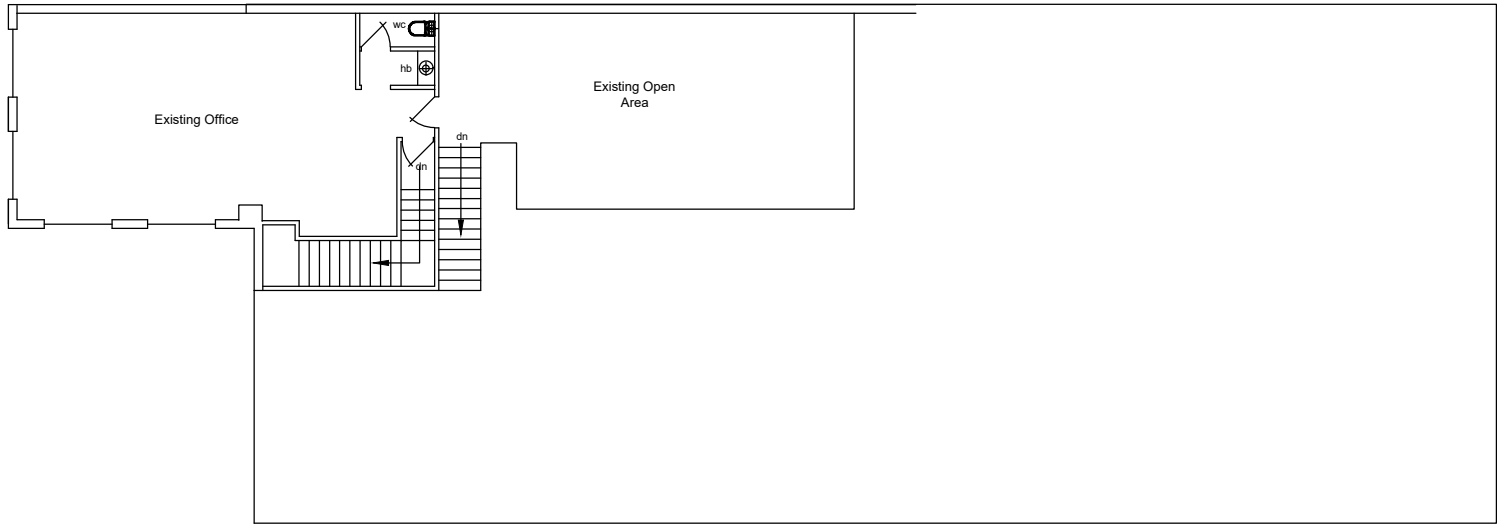


**SITE PLAN**  
Scale 1 : 250

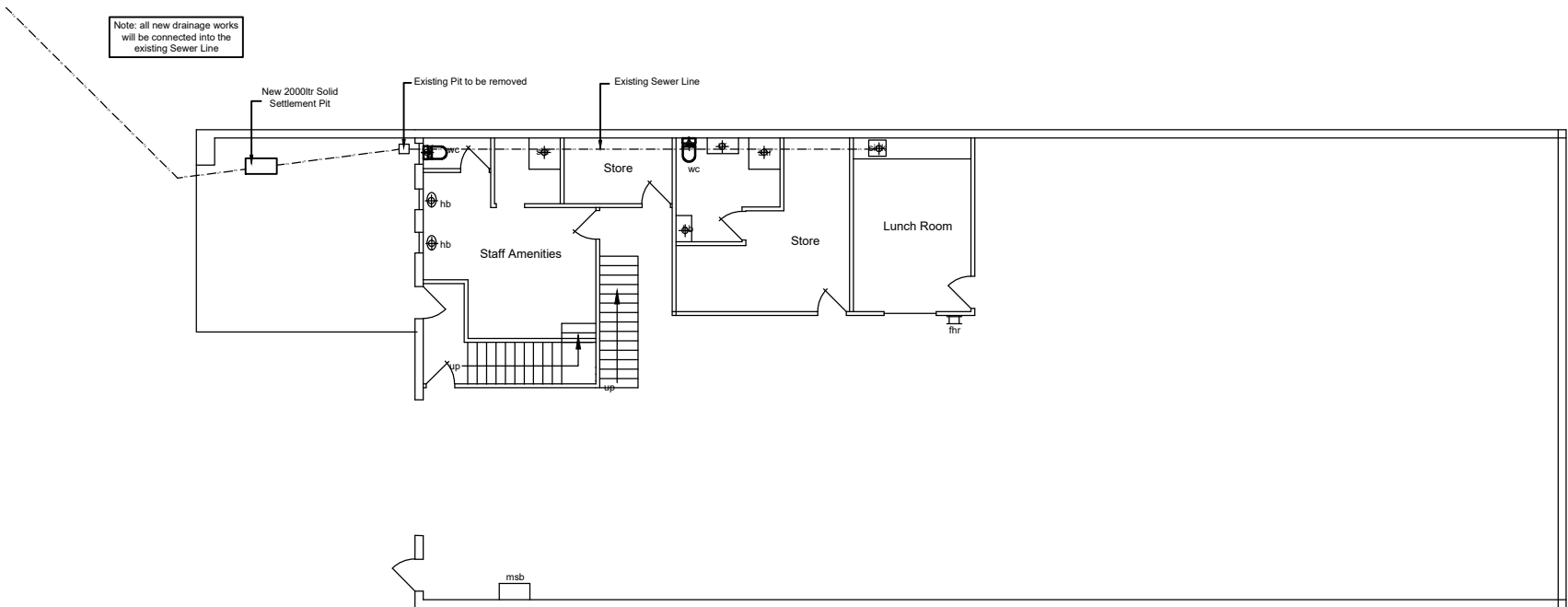
- GENERAL NOTE:
1. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE ALL EXISTING SERVICES BEFORE COMMENCING ANY DEMOLITION OR CONSTRUCTION WORKS.
  2. SERVICES TO THE AREAS TO BE DEMOLISHED ARE TO BE LOCATED, TERMINATED AND MADE SAFE BEFORE COMMENCEMENT OF DEMOLITION.
  3. ALL DEMOLITION WORKS TO BE CARRIED OUT IN CONJUNCTION WITH AS 2601
  4. SUBMIT A WORK PLAN BEFORE DEMOLITION OR STRIPPING WORK. INCLUDE THE CHECK LIST ITEMS APPROPRIATE TO THE PROJECT FROM AS 2601 APPENDIX A.
  5. PREPARE A HAZARDOUS SUBSTANCE MANAGEMENT PLAN TO AS 2601 CLAUSE 1.6.
  6. SUBMIT A COPY OF THE DILAPIDATION RECORD FOR INSPECTION.
  7. SUBMIT THE LOCATIONS OF SITE STOCKPILES FOR DEMOLISHED MATERIALS FOR RECYCLING IN THE WORKS. SUBMIT THE NAME AND ADDRESS OF THE PROPOSED RECYCLING FACILITY.
  8. IF TEMPORARY SUPPORT IS REQUIRED, CERTIFICATION FOR ITS DESIGN AND INSTALLATION IS REQUIRED FROM A PROFESSIONAL ENGINEER ENGAGED BY THE CONTRACTOR.
  9. WALL & FLOOR VINYL IN AREAS TO BE DEMOLISHED TO BE REMOVED. ALL GLUE RESIDUE TO BE REMOVED & EXISTING CONCRETE SURFACE & WALL LININGS TO BE PREPARED FOR THE INSTALLATION OF NEW VINYL.
  10. AT THE COMPLETION OF EVERY SUB CONTRACTOR WORKS, FOR THE WORKS UNDER CONTRACT DURING THE CONSTRUCTION STAGE THE HEAD CONTRACTOR IS TO SUBMIT A STATUTORY DECLARATION STATING THAT THE WORKS HAVE BEEN COMPLETED AS PER ALL CONSTRUCTION DOCUMENTATION, AUSTRALIAN STANDARDS AND THE NATIONAL CONSTRUCTION CODE.
  11. IT IS THE HEAD CONTRACTORS RESPONSIBILITY TO ENSURE THAT STAFF AND SUB CONTRACTORS RECEIVE ALL THE TENDER DOCUMENTATION AND ARE FULLY AWARE THAT THE SUB CONTRACTORS TENDER DOCUMENTATION IS TO BE READ IN CONJUNCTION WITH ALL THE SUBMITTED TENDER DOCUMENTS.
  12. IT IS THE HEAD CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL SUB CONTRACTORS ARE FULLY QUALIFIED AND EXPERIENCED IN ALL ASPECTS OF THE WORKS TO BE CARRIED OUT UNDER CONTRACT.
  13. IT IS THE HEAD CONTRACTORS RESPONSIBILITY TO SUPERVISE SUB CONTRACTORS AT ALL TIMES WHILST PERFORMING THE WORKS UNDER CONTRACT.
  14. IT IS THE HEAD CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE QUALITY WORKMANSHIP IS OF A HIGH STANDARD, IS CARRIED OUT IN A TRADESMAN LIKE MANNER & THAT ALL MATERIALS SUPPLIED AND INSTALLED BY THE SUB CONTRACTOR ARE FIT FOR PURPOSE AND ARE AS SPECIFIED.
  15. THE HEAD CONTRACTOR SHALL CHECK ALL RELEVANT DIMENSIONS ON SITE BEFORE PROCEEDING WITH WORK UNDER CONTRACT. DRAWINGS ARE NOT TO BE SCATED. IF ANY DISCREPANCIES ARE FOUND BY THE CONTRACTOR OR SUB CONTRACTOR THE SUPERINTENDENT IS TO BE NOTIFIED
  16. OBVIOUS WORKS, IF EITHER DRAWINGS NOR SPECIFICATION CONTAIN ANY MENTION OF METHODS OR PARTS, WHICH IN THE OPINION OF THE PRINCIPAL ARE REASONABLE AND OBVIOUSLY NECESSARY FOR THE SATISFACTORY COMPLETION OF THE WORKS, SUCH METHODS OR PARTS ARE TO BE PROVIDED BY THE CONTRACTOR WITHOUT ANY EXTRA CHARGE AS IF THEY WERE SPECIALLY MENTIONED AND SHALL BE DEEMED TO BE, AND HEREBY ARE INCLUDED IN THIS CONTRACT. IT IS THE HEAD CONTRACTORS RESPONSIBILITY TO CLARIFY ALL AMBIGUOUS METHODS OR PARTS AT THE TENDER STAGE.
  17. CONCRETE SCANNING IS TO BE UNDERTAKEN AND ALL IN SLAB DRAINAGE LOCATED, POSITION DOCUMENTED AND SUBMITTED TO THE SUPERINTENDENT FOR APPROVAL BEFORE THE COMMENCEMENT OF CONCRETE CUTTING.

Revision			<div><div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></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EXISTING UPPER FLOOR PLAN



EXISTING GROUND FLOOR PLAN

Revision		
H	DA PLANS	12/12/2024
F	CLIENT CHANGES	28/10/2024

**Consultant:**



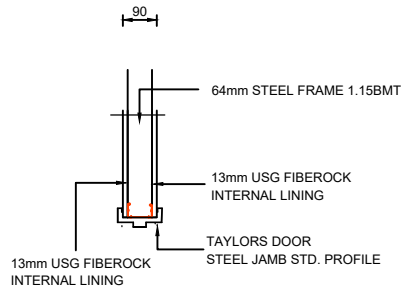
P.O. Box 7179 Toowoomba Bay NSW  
Ph: 0414 267 135 Fax 4332 0888  
Email: dw@dwslbaxter.com.au  
ACN 117 923 888

**Project:** CHANGE OF USE  
RENOVATION OF EXISTING FACTORY  
70A - 70B HARLEY CRESCENT  
CONDELL PARK  
RSPCA NSW SPEY CLINIC

**Client:** RSPCA NSW  
70A - 70B HARLEY CRESCENT  
CONDELL PARK

**Drawing:** EXISTING FLOOR PLAN

<b>Scale</b> 1 : 200 @ A1 1 : 400 @ A3	<b>Drawn:</b> DWB	<b>Date:</b> 28/10/2024
<b>Revision:</b> H	<b>Date:</b> 28/10/2024	<b>Drawing Number:</b> 4251/2



INTERNAL STEEL FRAME WALL DETAIL  
DETAIL - ISF01  
920 leaf door 950 opening

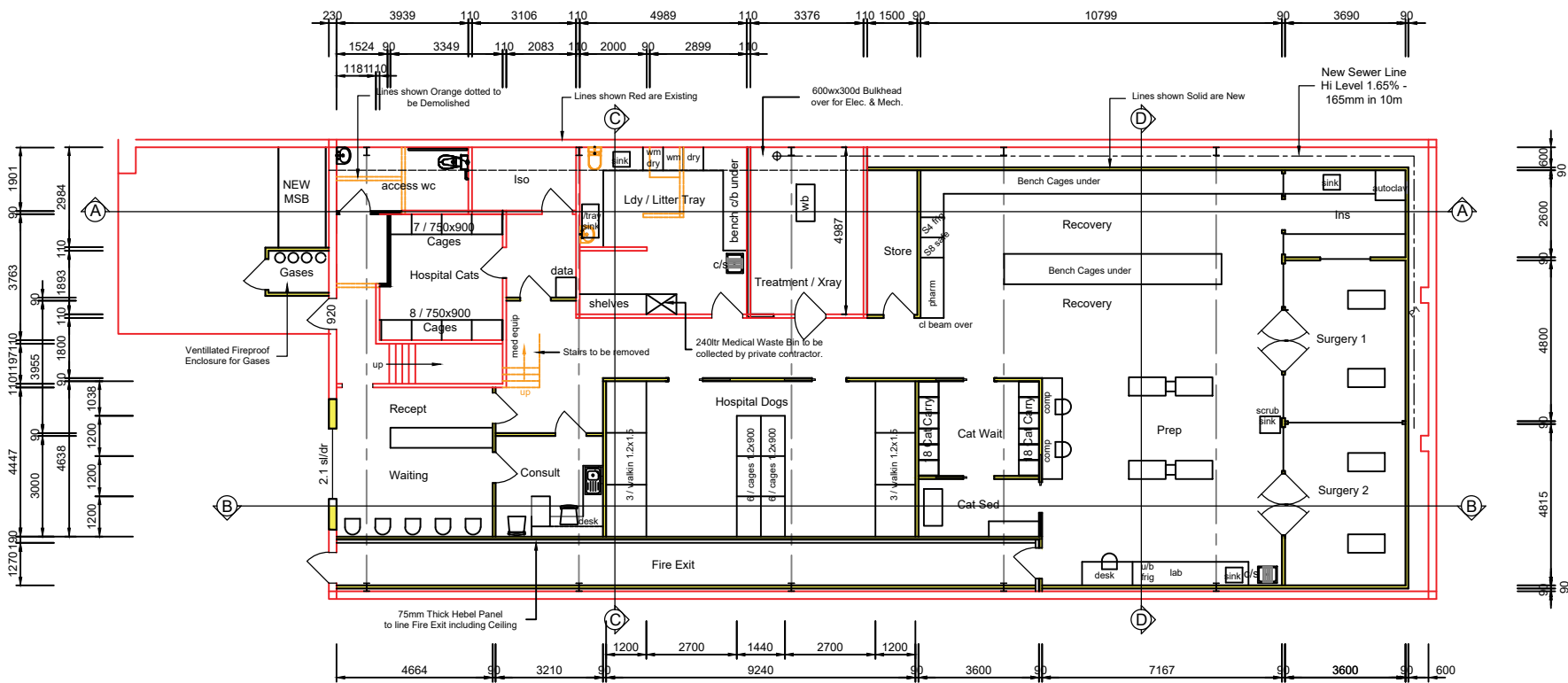
- GENERAL NOTE:
1. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE ALL EXISTING SERVICES BEFORE COMMENCING ANY DEMOLITION OR CONSTRUCTION WORKS.
  2. SERVICES TO THE AREAS TO BE DEMOLISHED ARE TO BE LOCATED, TERMINATED AND MADE SAFE BEFORE COMMENCEMENT OF DEMOLITION.
  3. ALL DEMOLITION WORKS TO BE CARRIED OUT IN CONJUNCTION WITH AS 2601
  4. SUBMIT A WORK PLAN BEFORE DEMOLITION OR STRIPPING WORK. INCLUDE THE CHECK LIST ITEMS APPROPRIATE TO THE PROJECT FROM AS 2601 APPENDIX A.
  5. PREPARE A HAZARDOUS SUBSTANCE MANAGEMENT PLAN TO AS 2601 CLAUSE 1.6.
  6. SUBMIT A COPY OF THE DILAPIDATION RECORD FOR INSPECTION.
  7. SUBMIT THE LOCATIONS OF SITE STOCKPILES FOR DEMOLISHED MATERIALS FOR RECYCLING IN THE WORKS. SUBMIT THE NAME AND ADDRESS OF THE PROPOSED RECYCLING FACILITY.
  8. IF TEMPORARY SUPPORT IS REQUIRED, CERTIFICATION FOR ITS DESIGN AND INSTALLATION IS REQUIRED FROM A PROFESSIONAL ENGINEER ENGAGED BY THE CONTRACTOR.
  9. WALL & FLOOR VINYL IN AREAS TO BE DEMOLISHED TO BE REMOVED. ALL GLUE RESIDUE TO BE REMOVED & EXISTING CONCRETE SURFACE & WALL LININGS TO BE PREPARED FOR THE INSTALLATION OF NEW VINYL.
  10. IT IS THE HEAD CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL SUB CONTRACTORS ARE FULLY QUALIFIED AND EXPERIENCED IN ALL ASPECTS OF THE WORKS TO BE CARRIED OUT UNDER CONTRACT.
  11. IT IS THE HEAD CONTRACTORS RESPONSIBILITY TO SUPERVISE SUB CONTRACTORS AT ALL TIMES WHILST PERFORMING THE WORKS UNDER CONTRACT.
  12. IT IS THE HEAD CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE QUALITY WORKMANSHIP IS OF A HIGH STANDARD, IS CARRIED OUT IN A TRADESMAN LIKE MANNER & THAT ALL MATERIALS SUPPLIED AND INSTALLED BY THE SUB CONTRACTOR ARE FIT FOR PURPOSE AND ARE AS SPECIFIED.
  13. CONCRETE SCANNING IS TO BE UNDERTAKEN AND ALL IN SLAB DRAINAGE LOCATED, POSITION DOCUMENTED AND SUBMITTED TO THE SUPERINTENDENT FOR APPROVAL BEFORE THE COMMENCEMENT OF CONCRETE CUTTING.

- HYDRAULICS NOTE
- H1. PROVIDE A COMPLETE AND OPERATIONAL HYDRAULIC SERVICES SYSTEM TESTED AND COMMISSIONED IN ACCORDANCE WITH AS/NZS 3500 AND THE PLUMBING CODE OF AUSTRALIA.
  - H2. PROVIDE THE ACCESSORIES AND FITTINGS NECESSARY FOR THE PROPER COMMISSIONING OF THE SYSTEMS, INCLUDING TAPS, VALVES, OUTLETS, PRESSURE AND TEMPERATURE CONTROL DEVICES, STRAINERS AND GAUGES.
  - H3. ALL INTERNAL FITTINGS TO HAVE A MINIMUM PRESSURE OF 150kPa AND FLOW RATE NOT LESS THAN STATE IN TABLE 3.3 SECTION 5 OF AS 3500.
  - H4. THIS DRAWING TO BE READ INCONJUNCTION WITH THE HYDRAULIC ENGINEERS DRAWINGS.

- MECHANICAL NOTE
- M1. ALL ROOMS TO BE MECHANICALLY VENTILATED.
  - M2. PROVIDE A COMPLETE AND OPERATIONAL MECHANICAL SERVICE AND VENTILLATION SYSTEM TESTED AND COMMISSIONED TO ALL ROOMS OCCUPIED BY A PERSON FOR ANY USE IN ACCORDANCE WITH AS 1668.1, AS 1668.2, AS 3666.1 AND BUILDING CODE OF AUSTRALIA.
  - M3. PROVIDE A VENTILLATION AND AIR CONDITIONING SYSTEM CAPABLE OF OPERATING UNDER THE FOLLOWING CLIMATIC CONDITIONS. SUMMER AMBIENT TEMP. 35° Cdb - INDOOR DRY BULB TEMP OF 24° C. WINTER AMBIENT TEMP. 6° C db - INDOOR DRY BULB TEMP 21° C.
  - M4. PROVIDE THE VENTILLATION AND AIR CONDITIONING SYSTEM FOR EACH SPACE AND OFFICE. MINIMUM SUPPLY OF 6.0L/s/m². AIR VELOCITY NOT MORE THAN 0.2m/s.
  - M5. PROVIDE THE AIR CONDITIONING SYSTEM WHERE THE MAXIMUM SOUND LEVEL dB(A) WILL NOT EXCEED 35 dB(A) OFFICES AND ANIMAL ROOMS, 40 dB(A) FOYER AND STAFF ROOM.

- LIGHTING NOTE
- L1. INSTALL HIGH FREQUENCY BALLAST IN FLOURESCENT LUMINARIES OVER A MINIMUM OF 95% OF THE NLA.
  - L2. THE LIGHT DESIGN TO HAVE A MAINTAINED ILLUMINANCE LEVEL OF NO MORE THAN 400 Lux FOR 95% OF THE OFFICE NLA AS MEASURED AT THE WORKING PLANE ( 720mm AFFL)
  - L3. LIGHTING POWER DENSITIES FOR 95% OF THE NLA NOT TO EXCEED 1.5 w/m² per 100 Lux AT 720mm AFFL WITH DEFAULT MAINTENANCE FACTOR OF 0.8.
  - L4. INDIVIDUALLY SWITCHED LIGHTING ZONES NOT EXCEEDING 100m² FOR 95% OF THE NLA.

- ELECTRICAL NOTE
- E1. PROVIDE A COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM TESTED AND COMMISSIONED IN ACCORDANCE WITH AS/NZS 3000 PART 2. AS/NZS 3008.1.1
  - E2. PROVIDE A COMPLETE MONITORED AND OPERATIONAL EMERGENCY LIGHTING SYSTEM IN ACCORDANCE WITH AS/NZS 2293.
  - E3. PROVIDE A COMPLETE MONITORED AND OPERATION FIRE DETECTION SYSTEM IN ACCORDANCE WITH AS 1670.
  - E4. PROVIDE A COMPLETE AND OPERATIONAL COMMUNICATIONS SYSTEM TESTED AND COMMISSIONED IN ACCORDANCE WITH AS/NZS 3080
  - E5. PROVIDE A COMPLETE MONITORED AND OPERATIONAL SECURITY SYSTEM TESTED AND COMMISSIONED.
  - E6. THIS DRAWING TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEERS DRAWING.



GROUND FLOOR PLAN

Floor Area : 375.90m² excl. Fire Exit

- Existing Wall to Remain
- New Wall to Detail ISF01
- Existing Wall Demolished

Revision		
G	DA PLANS	12/12/2024
F	CLIENT CHANGES	28/10/2024

Consultant:

**4**

DW & SL Baxter Pty Ltd

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Email: dw@dwslbaxter.com.au

Project: CHANGE OF USE  
RENOVATION OF EXISTING FACTORY  
70A - 70B HARLEY CRESCENT  
CONDELL PARK  
RSPCA NSW SPEY CLINIC

Client: RSPCA NSW  
70A - 70B HARLEY CRESCENT  
CONDELL PARK

Drawing: GROUND FLOOR PLAN

Scale	1 : 100 @ A1 1 : 200 @ A3	Drawn: DWB	Date: 28/10/2024
Revision:	H	Date: 30/10/2024	Drawing Number: 4251/3



1. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE ALL EXISTING SERVICES BEFORE COMMENCING ANY DEMOLITION OR CONSTRUCTION WORKS.
2. SERVICES TO THE AREAS TO BE DEMOLISHED ARE TO BE LOCATED, TERMINATED AND MADE SAFE BEFORE COMMENCEMENT OF DEMOLITION.
3. ALL DEMOLITION WORKS TO BE CARRIED OUT IN CONJUNCTION WITH AS 2601
4. SUBMIT A WORK PLAN BEFORE DEMOLITION OR STRIPPING WORK. INCLUDE THE LOCATION OF ALL ITEMS APPROPRIATE TO THE PROJECT FROM AS 2601 APPENDIX A
5. PREPARE A HAZARDOUS SUBSTANCE MANAGEMENT PLAN TO AS 2601 CLAUSE 1.6.
6. SUBMIT A COPY OF THE DILAPIDATION RECORD FOR INSPECTION.
7. SUBMIT THE LOCATIONS OF SITE STOCKPILES FOR DEMOLISHED MATERIALS FOR RECYCLING IN THE WORKS. SUBMIT THE NAME AND ADDRESS OF THE PROPOSED RECYCLING FACILITY.
8. IF TEMPORARY SUPPORT IS REQUIRED, CERTIFICATION FOR ITS DESIGN AND INSTALLATION IS REQUIRED FROM A PROFESSIONAL ENGINEER ENGAGED BY THE CONTRACTOR.
9. WHERE FLOOR AND CEILING ARE TO BE DEMOLISHED TO BE REMOVED. ALL GLUE RESIDUE TO BE REMOVED & EXISTING CONCRETE SURFACE & WALL LININGS TO BE PREPARED FOR THE INSTALLATION OF NEW VINYL.
10. IT IS THE HEAD CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL SUB CONTRACTORS ARE FULLY QUALIFIED AND EXPERIENCED IN ALL ASPECTS OF THE WORK TO BE CARRIED OUT UNDER CONTRACT.
11. IT IS THE HEAD CONTRACTORS RESPONSIBILITY TO SUPERVISE SUB CONTRACTORS AT ALL TIMES WHILST PERFORMING THE WORKS UNDER CONTRACT.
12. IT IS THE HEAD CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE QUALITY WORKMANSHIP IS OF A HIGH STANDARD, IS CARRIED OUT IN A TRADESMAN LIKE MANNER & THAT ALL MATERIALS SUPPLIED AND INSTALLED BY THE SUB CONTRACTOR ARE FIT FOR PURPOSE AND ARE AS SPECIFIED.
13. CONCRETE SCANNING IS TO BE UNDERTAKEN AND ALL IN SLAB DRAINAGE LOCATED, POSITION DOCUMENTED AND SUBMITTED TO THE SUPERINTENDENT FOR APPROVAL BEFORE THE COMMENCEMENT OF CONCRETE CUTTING.

H1. PROVIDE COMPLETE AND OPERATIONAL HYDRAULIC SYSTEMS SYSTEM TESTED AND COMMISSIONED IN ACCORDANCE WITH AS/NZS 3500 AND THE PLUMBING CODE OF AUSTRALIA.

H2. PROVIDE THE ACCESSORIES AND FITTINGS NECESSARY FOR THE PROPER COMMISSIONING OF THE SYSTEMS, INCLUDING TAPS, VALVES, OUTLETS, PRESSURE AND FLOW CONTROL DEVICES, TRAINERS AND GAUGES

H3. ALL INTERNAL FITTINGS TO HAVE A MINIMUM PRESSURE OF 150kPa AND FLOW RATE NOT LESS THAN STATE IN TABLE 3.3 SECTION S OF AS 3500.

H4. THIS DRAWING TO BE READ INCONJUNCTION WITH THE HYDRAULIC ENGINEERS DRAWINGS.

- M1. ALL ROOMS TO BE MECHANICALLY VENTILATED.  
STAFF, ANIMAL AREAS VRV TEMPERATURE CONTROL
- M2. PROVIDE A COMPLETE AND OPERATIONAL MECHANICAL SERVICE AND VENTILLATION SYSTEM TESTED AND COMMISSIONED TO ALL ROOMS OCCUPIED BY A PERSON FOR ANY USE IN ACCORDANCE WITH AS 1668.1, AS 1668.2, AS 3666.1 AND BUILDING CODE OF AUSTRALIA.
- M3 PROVIDE A VENTILLATION AND AIR CONDITIONING SYSTEM CAPABLE OF OPERATING UNDER THE FOLLOWING CLIMATIC CONDITIONS. SUMMER AMBIENT TEMP. 35° Cdb - INDOOR DRY BULB TEMP OF 24° C. WINTER AMBIENT TEMP. 6° C db - INDOOR DRY BULB TEMP 21° C
- M4. PROVIDE THE VENTILLATION AND AIR CONDITIONING SYSTEM FOR EACH SPACE AND OFFICE. MINIMUM SUPPLY OF 6.0L/s.m². AIR VELOCITY NOT MORE THAN 0.2m/s.
- M5. PROVIDE THE AIR CONDITIONING SYSTEM WHERE THE MAXIMUM SOUND LEVEL dB(A) WILL NOT EXCEED 35 dB(A) OFFICES AND ANIMAL ROOMS, 40 dB(A) FOYER AND STAFF ROOM.

- L1. INSTALL HIGH FREQUENCY BALLAST IN FLOURESCENT LUMINARIES OVER A MINIMUM OF 95% OF THE NLA.
- L2. THE LIGHT DESIGN TO HAVE A MAINTAINED ILLUMINANCE LEVEL OF NO MORE THAN 400 Lux For 95% OF THE OFFICE NLA AS MEASURED AT THE WORKING PLANE ( 720mm AFFL)
- L3. LIGHTING POWER DENSITIES FOR 95% OF THE NLA NOT TO EXCEED 1.5 w/m<sup>2</sup> per 100 Lux At 720mm AFFL WITH DEFAULT MAINTENANCE FACTOR OF 0.8.
- L4. INDIVIDUALLY SWITCHED LIGHTING ZONES NOT EXCEEDING 100m<sup>2</sup> FOR 95% OF THE NLA.

- E1. PROVIDE A COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM TESTED AND COMMISSIONED IN ACCORDANCE WITH AS/NZS 3000 PART 2. AS/NZS 3008.1.1
- E2. PROVIDE A COMPLETE MONITORED AND OPERATIONAL EMERGENCY LIGHTING SYSTEM IN ACCORDANCE WITH AS/NZS 2293.
- E3. PROVIDE A COMPLETE MONITORED AND OPERATION FIRE DETECTION SYSTEM IN ACCORDANCE WITH AS 1670.
- E4. PROVIDE A COMPLETE AND OPERATIONAL COMMUNICATIONS SYSTEM TESTED AND COMMISSIONED IN ACCORDANCE WITH AS/NZS 3080
- E5. PROVIDE A COMPLETE MONITORED AND OPERATIONAL SECURITY SYSTEM TESTED AND COMMISSIONED.
- E6. THIS DRAWING TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEERS DRAWING.



 Existing Wall to Remain  
 New Wall to Detail ISF01  
 Existing Wall Demolished

**Consultant:**

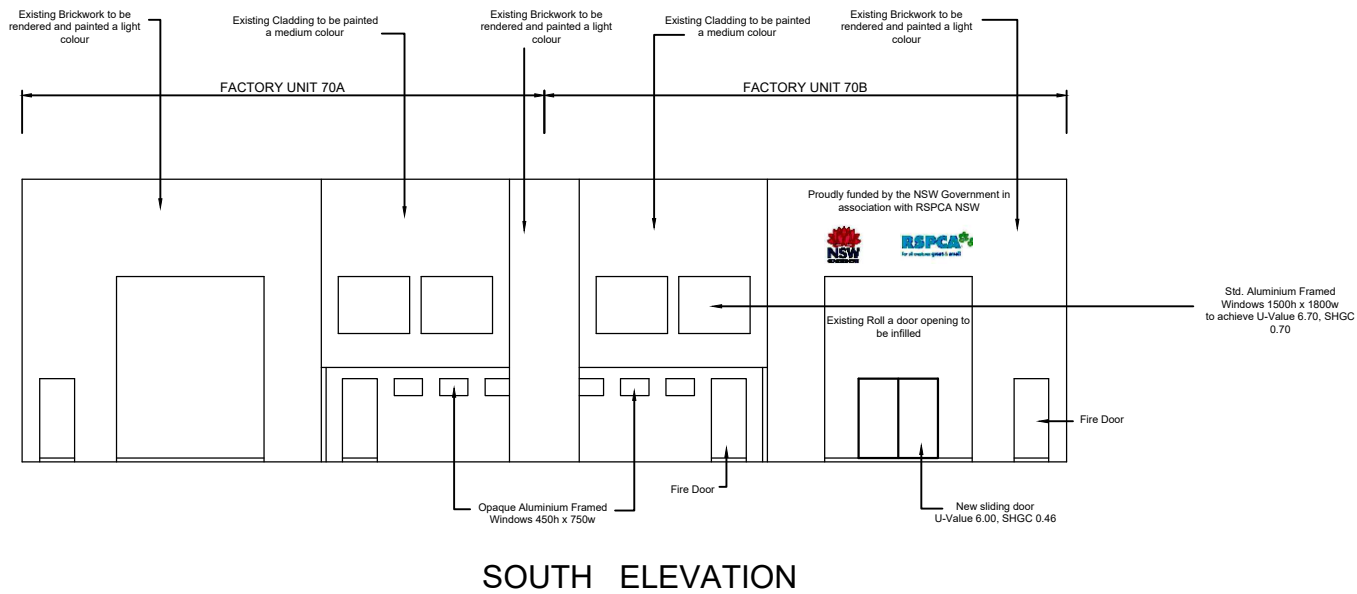
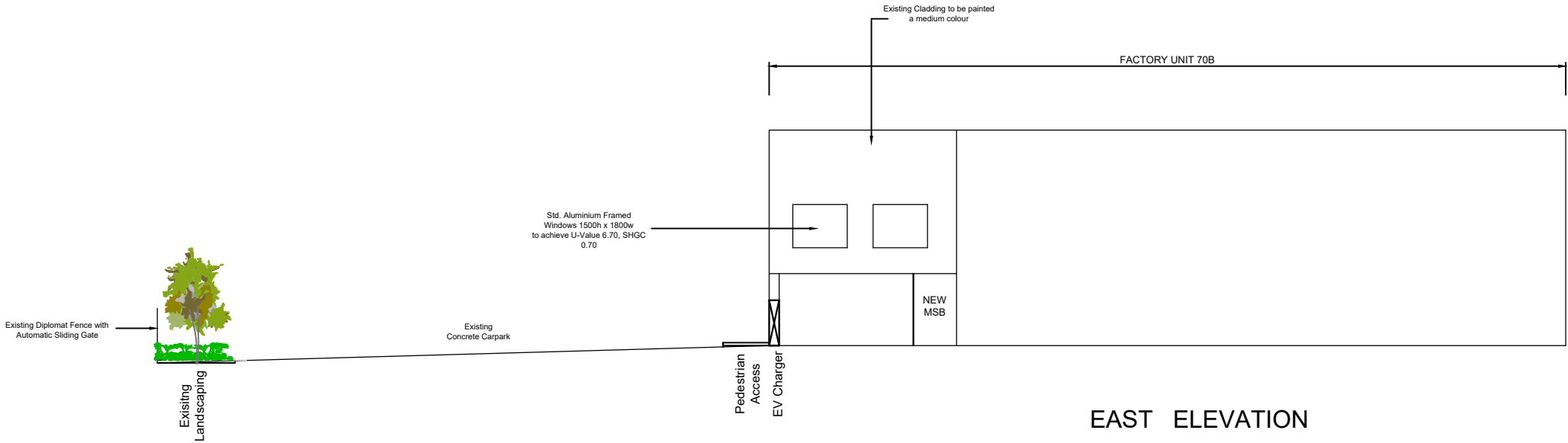
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Email david@paramountplans.com

**DW & SL Baxter Pty Ltd**

ACN 117 923 898

Client: RSPCA NSW  
70A - 70B HARLEY CRESCENT  
CONDELL PARK

<b>Scale</b> 1 : 100 @ A1 1 : 200 @ A3	<b>Drawn:</b> DWB	<b>Date:</b> 28/10/2024
<b>Revision:</b> H	<b>Date:</b> 30/10/2024	<b>Drawing Number:</b> 4251/4



EXTERNAL FINISHES SCHEDULE

ITEM	MANUFACTURER	PRODUCT	FINISH	COLOUR
CLADDING	JAMES HARDIE	VERTICAL CLADDING	PAINTED	DARK GREY
	BORAL	FACE BRICK	RENDERED	OFF WHITE
WINDOWS	EXISTING	ALUMINIUM	POWDERCOAT	BLACK
GUTTER	EXISTING	600 wide x 150 deep	STEEL	NA
ROOFING	EXISTING	TRIMDECK	POWDERCOAT	GREY

Revision		
H	DA PLANS	12/12/2024
G	MEZZANINE WINDOWS ADDED	11/11/2024
F	CLIENT CHANGES	28/10/2024

Consultant:

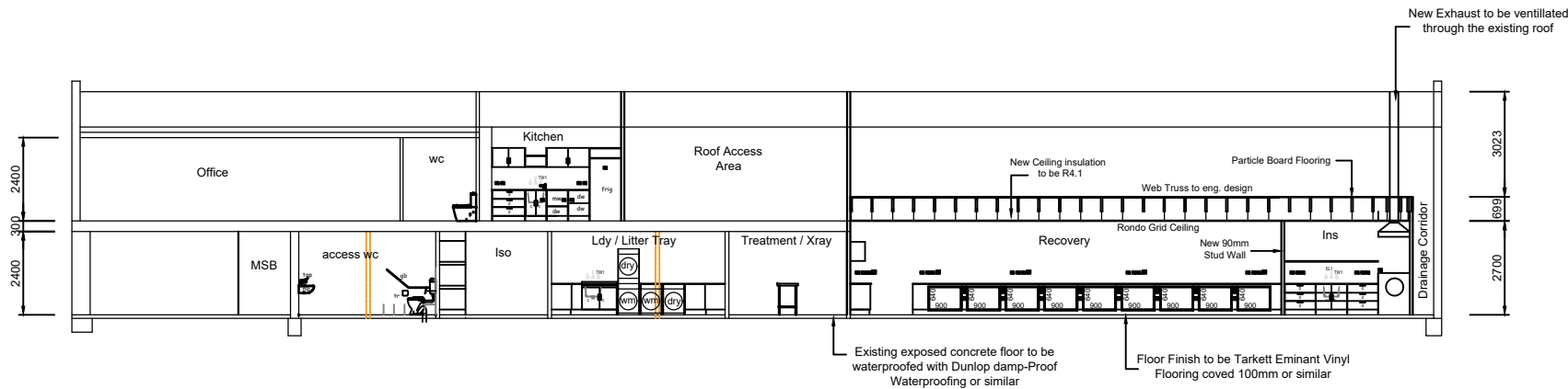
**DW & SL Baxter Pty Ltd**  
P.O. Box 7179 Toowoomba Bay NSW  
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ACN 117 923 886

Project: **CHANGE OF USE  
RENOVATION OF EXISTING FACTORY  
70A - 70B HARLEY CRESCENT  
CONDELL PARK  
RSPCA NSW SPEY CLINIC**

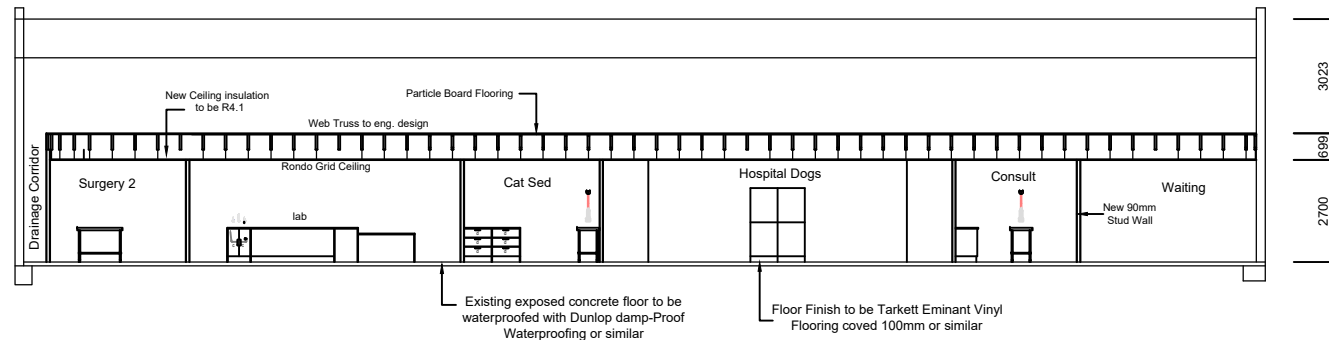
Client: **RSPCA NSW  
70A - 70B HARLEY CRESCENT  
CONDELL PARK**

Drawing: **ELEVATIONS**

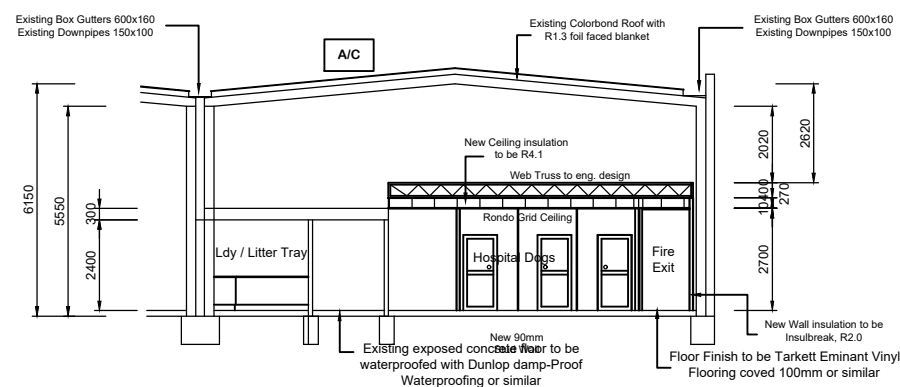
Scale 1 : 100 @ A1 1 : 200 @ A3	Drawn: DWB	Date: 28/10/2024
Revision: H	Date: 30/10/2024	Drawing Number: <b>4251/5</b>



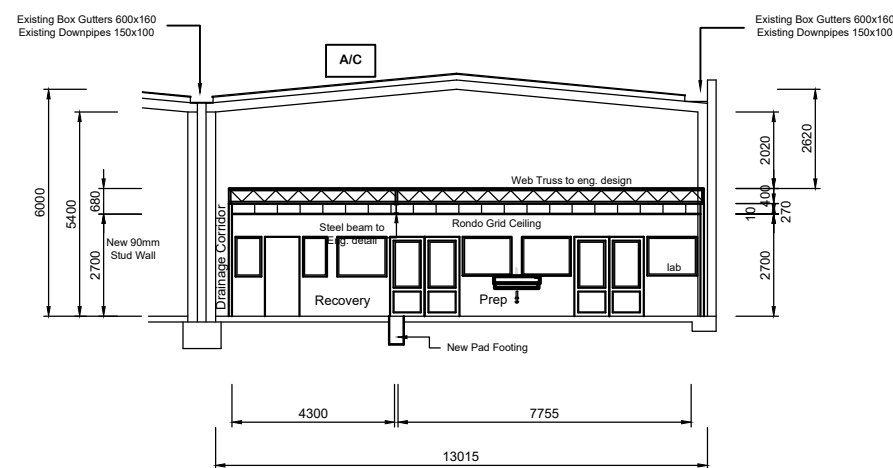
SECTION A - A



SECTION B - B



SECTION C - C



SECTION D - D

Revision		
H	DA PLANS	12/12/2024
F	CLIENT CHANGES	28/10/2024

Consultant:

**4**

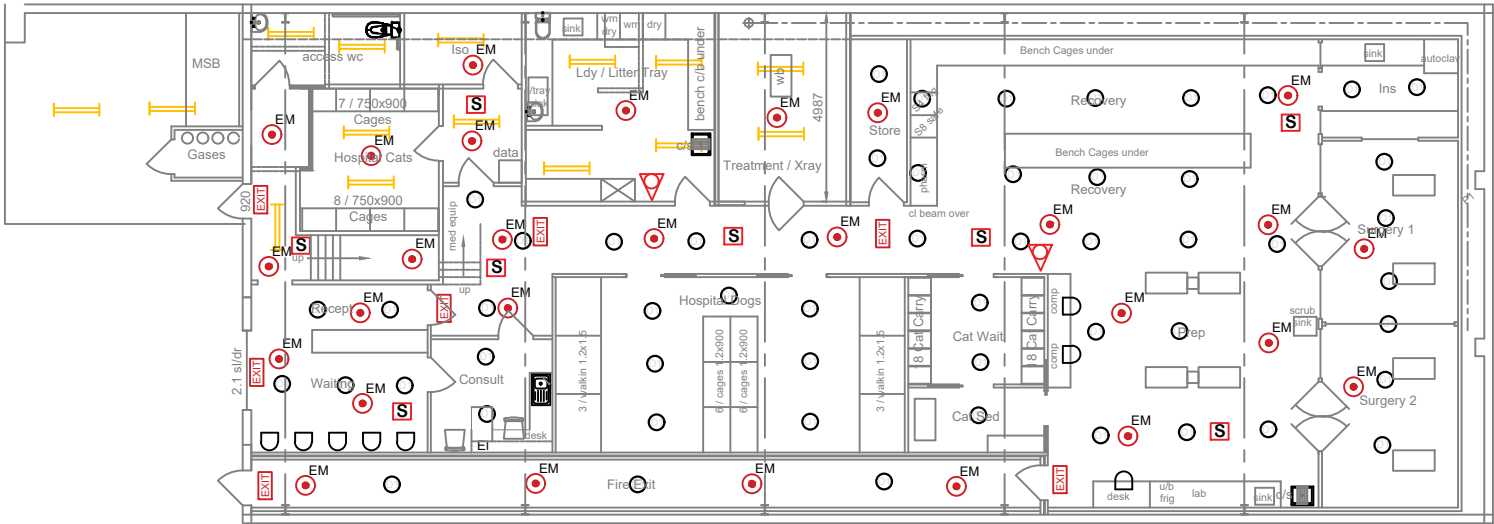
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DW & SL Baxter Pty Ltd  
ACN 117 023 888

Project: **CHANGE OF USE  
RENOVATION OF EXISTING FACTORY  
70A - 70B HARLEY CRESCENT  
CONDELL PARK  
RSPCA NSW SPEY CLINIC**

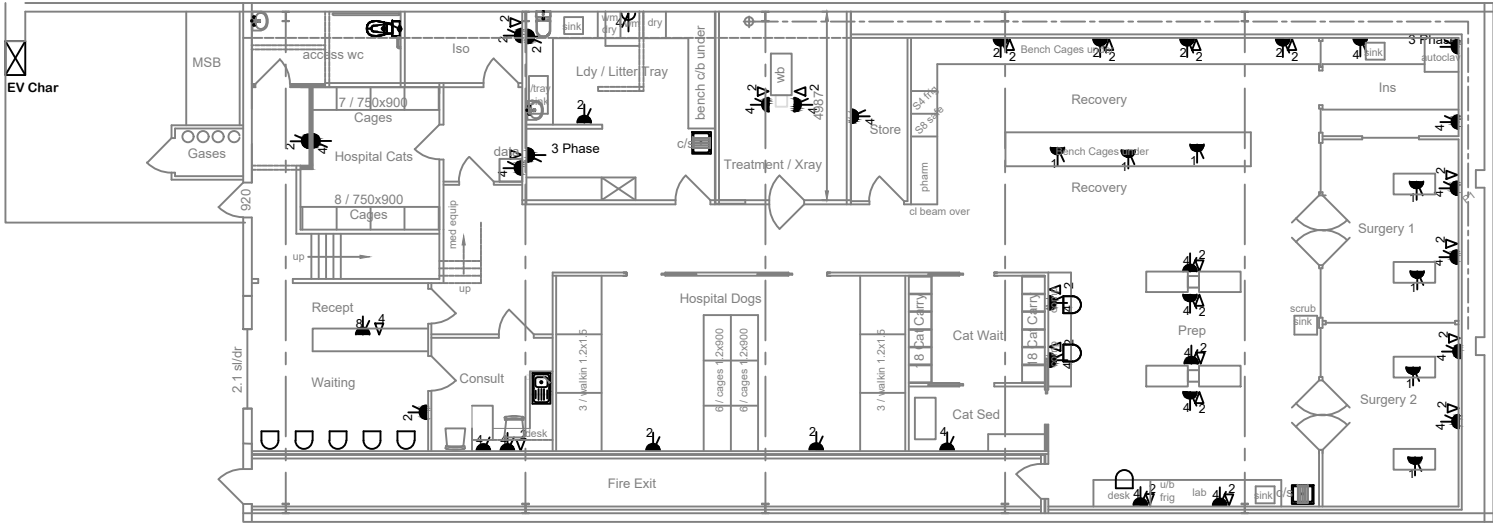
Client: **RSPCA NSW  
70A - 70B HARLEY CRESCENT  
CONDELL PARK**

Drawing: **SECTIONS**

Scale 1 : 100 @ A1 1 : 200 @ A3	Drawn: DWB	Date: 28/10/2024
Revision: H	Date: 30/10/2024	Drawing Number: <b>4251/6</b>



LIGHTING



POWER

Fire Safety Equipment Schedule				
Item	Symbol	Location	Type	No Off
FE1		Ldy / Litter	4.5kg ABE Dry Powder Fire Extinguisher	1
FB1		Ldy / Litter / Kit	Commercial Alumin. Sliding Window	1
SD1		As Shown	Model 885WP-B Weatherproof Heat Detector with Fixed Temperature alarm	1
FE2		Kitchen	5.0kg Carbon Dioxide fire Extinguisher	1

HYDRAULICS NOTE

- H1. PROVIDE A COMPLETE AND OPERATIONAL HYDRAULIC SERVICES SYSTEM TESTED AND COMMISSIONED IN ACCORDANCE WITH AS/NZS 3500 AND THE PLUMBING CODE OF AUSTRALIA.
- H2. PROVIDE THE ACCESSORIES AND FITTINGS NECESSARY FOR THE PROPER COMMISSIONING OF THE SYSTEMS, INCLUDING TAPS, VALVES, OUTLETS, PRESSURE AND TEMPERATURE CONTROL DEVICES, STRAINERS AND GAUGES.
- H3. ALL INTERNAL FITTINGS TO HAVE A MINIMUM PRESSURE OF 150kPa AND FLOW RATE NOT LESS THAN STATE IN TABLE 3.3 SECTION 5 OF AS 3500.
- H4. THIS DRAWING TO BE READ INCONJUNCTION WITH THE HYDRAULIC ENGINEERS DRAWINGS.

MECHANICAL NOTE

- M1. ALL ROOMS TO BE MECHANICALLY VENTILATED. STAFF, ANIMAL AREAS VRV TEMPERATURE CONTROL
- M2. PROVIDE A COMPLETE AND OPERATIONAL MECHANICAL SERVICE AND VENTILLATION SYSTEM TESTED AND COMMISSIONED TO ALL ROOMS OCCUPIED BY A PERSON FOR ANY USE IN ACCORDANCE WITH AS 1668.1, AS 1668.2, AS 3666.1 AND BUILDING CODE OF AUSTRALIA.
- M3. PROVIDE A VENTILLATION AND AIR CONDITIONING SYSTEM CAPABLE OF OPERATING UNDER THE FOLLOWING CLIMATIC CONDITIONS. SUMMER AMBIENT TEMP. 35° Cdb - INDOOR DRY BULB TEMP OF 24° C. WINTER AMBIENT TEMP. 6° C db - INDOOR DRY BULB TEMP 21° C.
- M4. PROVIDE THE VENTILLATION AND AIR CONDITIONING SYSTEM FOR EACH SPACE AND OFFICE. MINIMUM SUPPLY OF 6.0L/s/m². AIR VELOCITY NOT MORE THAN 0.2m/s.
- M5. PROVIDE THE AIR CONDITIONING SYSTEM WHERE THE MAXIMUM SOUND LEVEL dB(A) WILL NOT EXCEED 35 dB(A) OFFICES AND ANIMAL ROOMS, 40 dB(A) FOYER AND STAFF ROOM.

LIGHTING NOTE

- L1. INSTALL HIGH FREQUENCY BALLAST IN FLOURESCENT LUMINARIES OVER A MINIMUM OF 95% OF THE NLA.
- L2. THE LIGHT DESIGN TO HAVE A MAINTAINED ILLUMINANCE LEVEL OF NO MORE THAN 400 Lux FOR 95% OF THE OFFICE NLA AS MEASURED AT THE WORKING PLANE ( 720mm AFFL)
- L3. LIGHTING POWER DENSITIES FOR 95% OF THE NLA NOT TO EXCEED 1.5 w/m² per 100 Lux AT 720mm AFFL WITH DEFAULT MAINTENANCE FACTOR OF 0.8.
- L4. INDIVIDUALLY SWITCHED LIGHTING ZONES NOT EXCEEDING 100m² FOR 95% OF THE NLA.

ELECTRICAL NOTE

- E1. PROVIDE A COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM TESTED AND COMMISSIONED IN ACCORDANCE WITH AS/NZS 3000 PART 2. AS/NZS 3008.1.1
- E2. PROVIDE A COMPLETE MONITORED AND OPERATIONAL EMERGENCY LIGHTING SYSTEM IN ACCORDANCE WITH AS/NZS 2293.
- E3. PROVIDE A COMPLETE MONITORED AND OPERATION FIRE DETECTION SYSTEM IN ACCORDANCE WITH AS 1670.
- E4. PROVIDE A COMPLETE AND OPERATIONAL COMMUNICATIONS SYSTEM TESTED AND COMMISSIONED IN ACCORDANCE WITH AS/NZS 3080.
- E5. PROVIDE A COMPLETE MONITORED AND OPERATIONAL SECURITY SYSTEM TESTED AND COMMISSIONED.
- E6. THIS DRAWING TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEERS DRAWING.

Lighting Schedule				
Symbol	Item	Description	Photo	No Off
	EM1	Emergency Light	LED Splitfire Emergency Backup Light 2W	20
	ED	Emergency directional	Thorn 96294584 Voyager IP65 Exit 24m E2M	9
	EF	Exhaust Fan	Manufacturer: Volex Model No: DUCTOKIT Warranty: 5 Years	4
	D1	Downlight	Cipsal TPDL2K4 Series	55
	FL1	Flood Light	Cipsal LED TPFLS	2
		Existing Light	LED Twin 40W Flourescent	25
	HB	High Bay Light	Manufacturer: Volex Model No: HCL-150-CW Warranty: 7 Years D1	6

Electrical Legend		
2D Symbol	Quantity	Type
	1	Exhaust Fan
	NA	Security Light Sensor
	1	Downlight
	2	Light Switch
	NA	W/P GPO
	3	DGPO
	NA	Smoke Detector

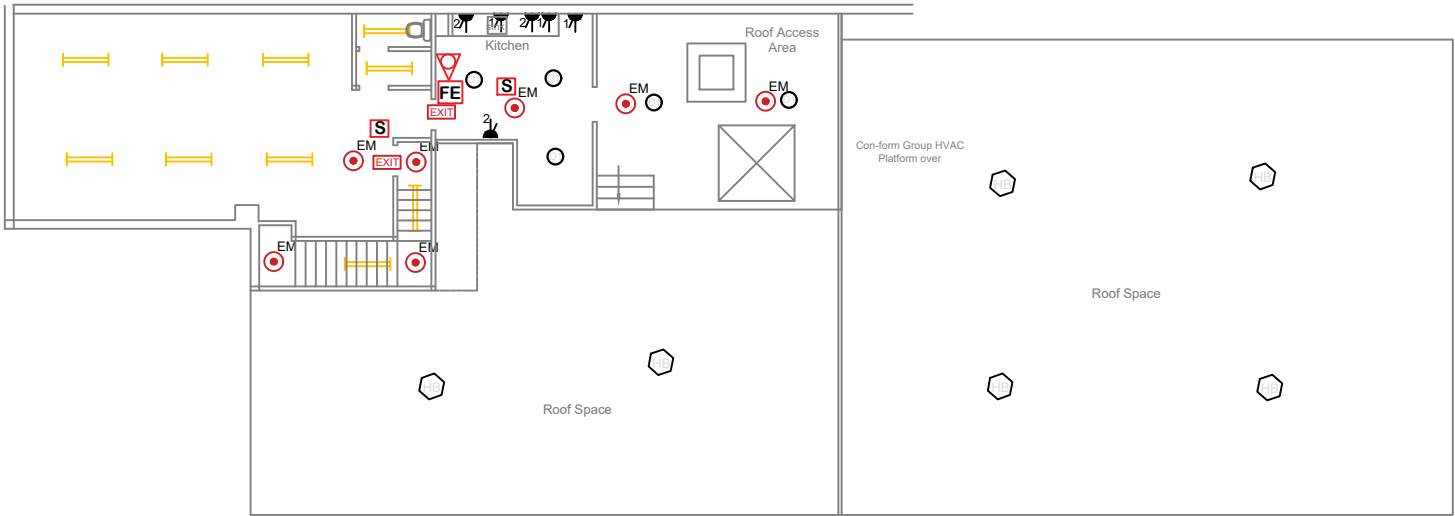
Revision		
H	DA PLANS	12/12/2024
F	CLIENT CHANGES	28/10/2024

Consultant:	P.O. Box 17179 Toowoomba Bay NSW Ph: 0414 207135 Fax 4332 0888 Email: dw@dwslbaxter.com.au
	DW & SL Baxter Pty Ltd ACN 117 603 888

Project:	CHANGE OF USE RENOVATION OF EXISTING FACTORY 70A - 70B HARLEY CRESCENT CONDELL PARK RSPCA NSW SPEY CLINIC
Client:	RSPCA NSW 70A - 70B HARLEY CRESCENT CONDELL PARK

Drawing:	ELECTRICAL PLAN GROUND FLOOR
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Scale	1 : 100 @ A1 1 : 200 @ A3	Drawn:	DWB	Date:	28/10/2024
Revision:	H	Date:	30/10/2024	Drawing Number:	4251/7



LIGHTING AND POWER

Fire Safety Equipment Schedule				
Item	Symbol	Location	Type	No Off
FE1		Ldy / Litter	4.5kg ABE Dry Powder Fire Extinguisher	1
FB1		Ldy / Litter / Kit	Commercial Alumin. Sliding Window	1
SD1		As shown	Model 885WP-B Weatherproof Heat Detector with Fixed Temperature alarm	1
FE2		Kitchen	5.0kg Carbon Dioxide fire Extinguisher	1

HYDRAULICS NOTE

H1. PROVIDE A COMPLETE AND OPERATIONAL HYDRAULIC SERVICES SYSTEM TESTED AND COMMISSIONED IN ACCORDANCE WITH AS/NZS 3500 AND THE PLUMBING CODE OF AUSTRALIA.

H2. PROVIDE THE ACCESSORIES AND FITTINGS NECESSARY FOR THE PROPER COMMISSIONING OF THE SYSTEMS, INCLUDING TAPS, VALVES, OUTLETS, PRESSURE AND TEMPERATURE CONTROL DEVICES, STRAINERS AND GAUGES.

H3. ALL INTERNAL FITTINGS TO HAVE A MINIMUM PRESSURE OF 150kPa AND FLOW RATE NOT LESS THAN STATE IN TABLE 3.3 SECTION 5 OF AS 3500.

H4. THIS DRAWING TO BE READ INCONJUNCTION WITH THE HYDRAULIC ENGINEERS DRAWINGS.

MECHANICAL NOTE

M1. ALL ROOMS TO BE MECHANICALLY VENTILAATED. STAFF, ANIMAL AREAS VRV TEPERATURE CONTROL

M2. PROVIDE A COMPLETE AND OPERATIONAL MECHANICAL SERVICE AND VENTILLATION SYSTEM TESTED AND COMMISSIONED TO ALL ROOMS OCCUPIED BY A PERSON FOR ANY USE IN ACCORDANCE WITH AS 1668.1, AS 1668.2, AS 3666.1 AND BUILDING CODE OF AUSTRALIA.

M3. PROVIDE A VENTILLATION AND AIR CONDITIONING SYSTEM CAPABLE OF OPERATING UNDER THE FOLLOWING CLIMATIC CONDITIONS. SUMMER AMBIENT TEMP. 35° Cdb - INDOOR DRY BULB TEMP OF 24° C. WINTER AMBIENT TEMP. 6° C db - INDOOR DRY BULB TEMP 21° C.

M4. PROVIDE THE VENTILLATION AND AIR CONDITIONING SYSTEM FOR EACH SPACE AND OFFICE. MINIMUM SUPPLY OF 6.0L/s/m². AIR VELOCITY NOT MORE THAN 0.2m/s.

M5. PROVIDE THE AIR CONDITIONING SYSTEM WHERE THE MAXIMUM SOUND LEVEL dB(A) WILL NOT EXCEED 35 dB(A) OFFICES AND ANIMAL ROOMS, 40 dB(A) FOYER AND STAFF ROOM.

Lighting Schedule				
Symbol	Item	Description	Photo	No Off
	Emergency Light	LED Spillfire Emergency Backup Light 2W		20
	Emergency directional	Thorn 96294584 Voyager IP65 Exit 24m E2M		9
	Exhaust Fan	Manufacturer: Vortex Model No: DUCTOKIT Warranty: 5 Years		4
	Downlight	Cipsal TPDL2K4 Series		55
	Flood Light	Cipsal LED TPFLS		2
	Existing Light	LED Twin 40W Fluorescent		25
	High Bay Light	Manufacturer: Vortex Model No: HCL-150-CW Warranty: 7 Years D1		6

LIGHTING NOTE

L1. INSTALL HIGH FREQUENCY BALLAST IN FLOURESCENT LUMINARIES OVER A MINIMIUM OF 95% OF THE NLA.

L2. THE LIGHT DESIGN TO HAVE A MAINTAINED ILLUMINANCE LEVEL OF NO MORE THAN 400 Lux FOR 95% OF THE OFFICE NLA AS MEASURED AT THE WORKING PLANE ( 720mm AFFL)

L3. LIGHTING POWER DENSITIES FOR 95% OF THE NLA NOT TO EXCEED 1.5 w/m² per 100 Lux AT 720mm AFFL WITH DEFAULT MAINTENANCE FACTOR OF 0.8.

L4. INDIVIDUALLY SWITCHED LIGHTING ZONES NOT EXCEEDING 100m² FOR 95% OF THE NLA.

ELECTRICAL NOTE

E1. PROVIDE A COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM TESTED AND COMMISSIONED IN ACCORDANCE WITH AS/NZS 3000 PART 2. AS/NZS 3008.1.1

E2. PROVIDE A COMPLETE MONITORED AND OPERATIONAL EMERGENCY LIGHTING SYSTEM IN ACCORDANCE WITH AS/NZS 2293.

E3. PROVIDE A COMPLETE MONOTORED AND OPERATION FIRE DETECTION SYSTEM IN ACCORDANCE WITH AS 1670.

E4. PROVIDE A COMPLETE AND OPERATIONAL COMMUNICATIONS SYSTEM TESTED AND COMMISSIONED IN ACCORDANCE WITH AS/NZS 3080.

E5. PROVIDE A COMPLETE MONITORED AND OPERATIONAL SECURITY SYSTEM TESTED AND COMMISSIONED.

E6. THIS DRAWING TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEERS DRAWING.

Electrical Legend		
2D Symbol	Quantity	Type
	1	Exhaust Fan
	NA	Security Light Censor
	1	Downlight
	2	Light Switch
	NA	W/P GPO
	3	DGPO
	NA	Smoke Detector

Revision		
H	DA PLANS	12/12/2024
F	CLIENT CHANGES	28/10/2024

Consultant:

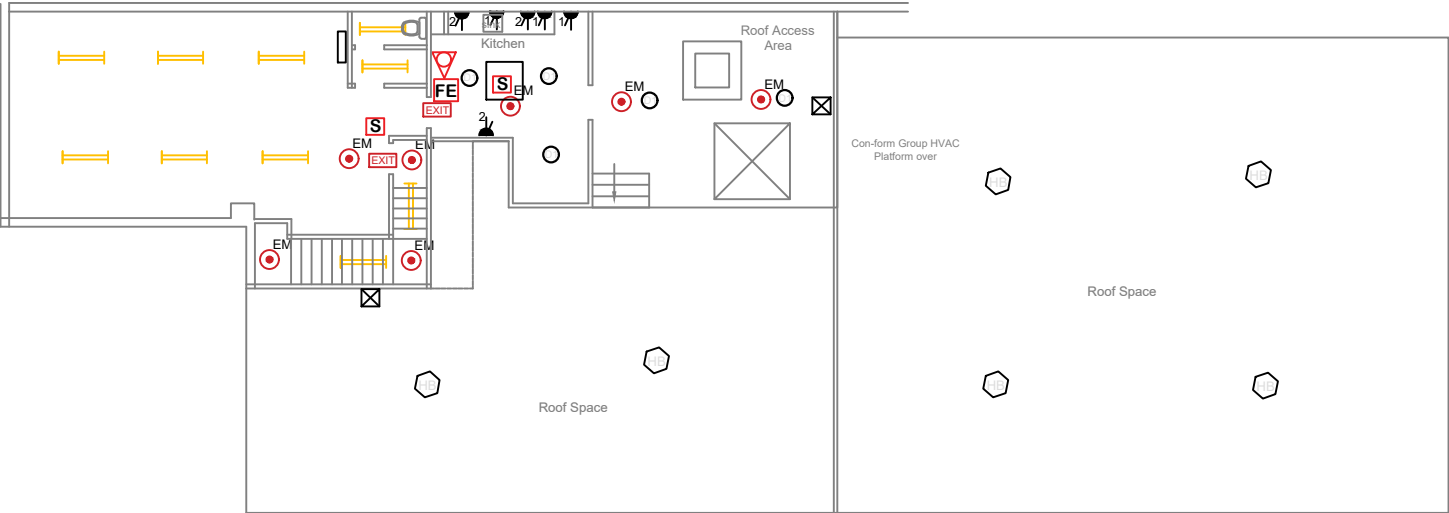
DW & SL Baxter Pty Ltd  
120/111 1011 001

Project:	CHANGE OF USE RENOVATION OF EXISTING FACTORY 70A - 70B HARLEY CRESCENT CONDELL PARK RSPCA NSW SPEY CLINIC
Client:	RSPCA NSW 70A - 70B HARLEY CRESCENT CONDELL PARK

Drawing:	ELECTRICAL PLAN UPPER FLOOR
----------	-----------------------------

Scale	1 : 100 @ A1 1 : 200 @ A3	Drawn:	DWB	Date:	28/10/2024
Revision:	H	Date:	30/10/2024	Drawing Number:	4251/8





- HVAC Split system
- HVAC Exhaust
- Hvac Supply
- HVAC Cassette

Revision		
H	DA PLANS	12/12/2024
F	CLIENT CHANGES	28/10/2024

Consultant:

**4**

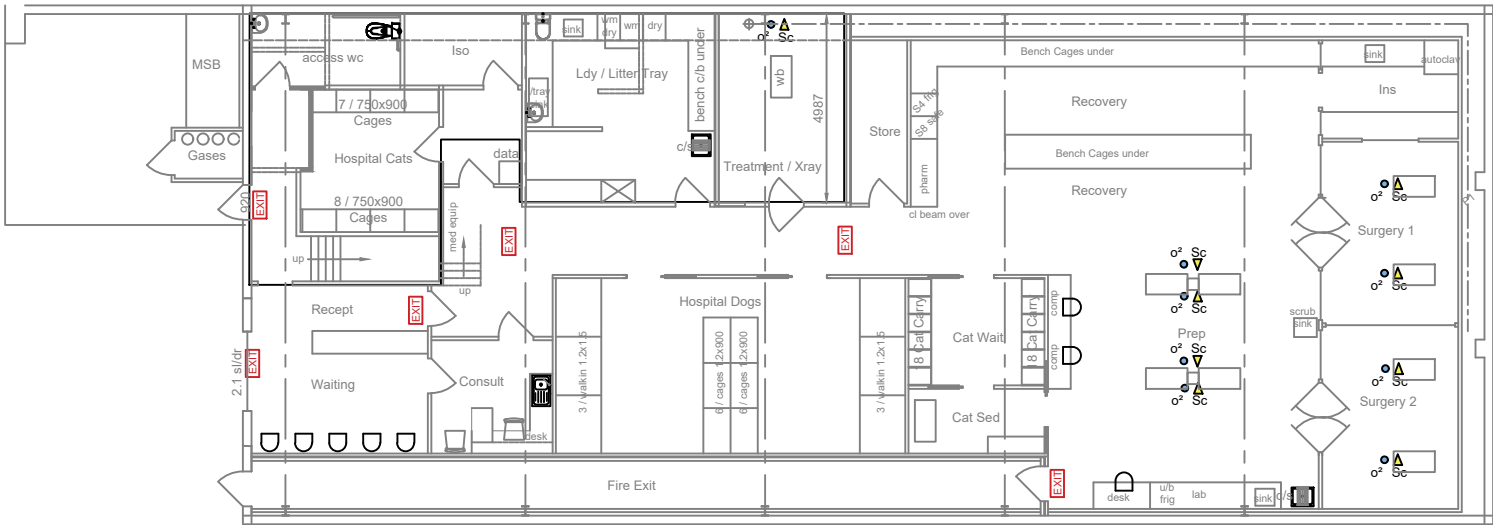
P.O. Box 7179 Toowoomba Bay NSW  
Ph: 0414 207135 Fax 4332 0888  
Email: dw@dwsl.com.au  
DW & SL Baxter Pty Ltd  
ACN 117 923 888

Project: **CHANGE OF USE  
RENOVATION OF EXISTING FACTORY  
70A - 70B HARLEY CRESCENT  
CONDELL PARK  
RSPCA NSW SPEY CLINIC**

Client: **RSPCA NSW  
70A - 70B HARLEY CRESCENT  
CONDELL PARK**

Drawing: **REFLECTED CEILING PLAN**

Scale	1 : 100 @ A1 1 : 200 @ A3	Drawn: DWB	Date: 28/10/2024
Revision:	H	Date: 30/10/2024	Drawing Number: 4251/9



O<sup>2</sup>    ●    Oxygen

Sc    ▼    Active Scavenger System

Revision		
H	DA PLANS	12/12/2024
F	CLIENT CHANGES	28/10/2024

Consultant:



P.O. Box 7179 Toowoomba Bay NSW

Ph: 0414 267135 Fax 4332 0888

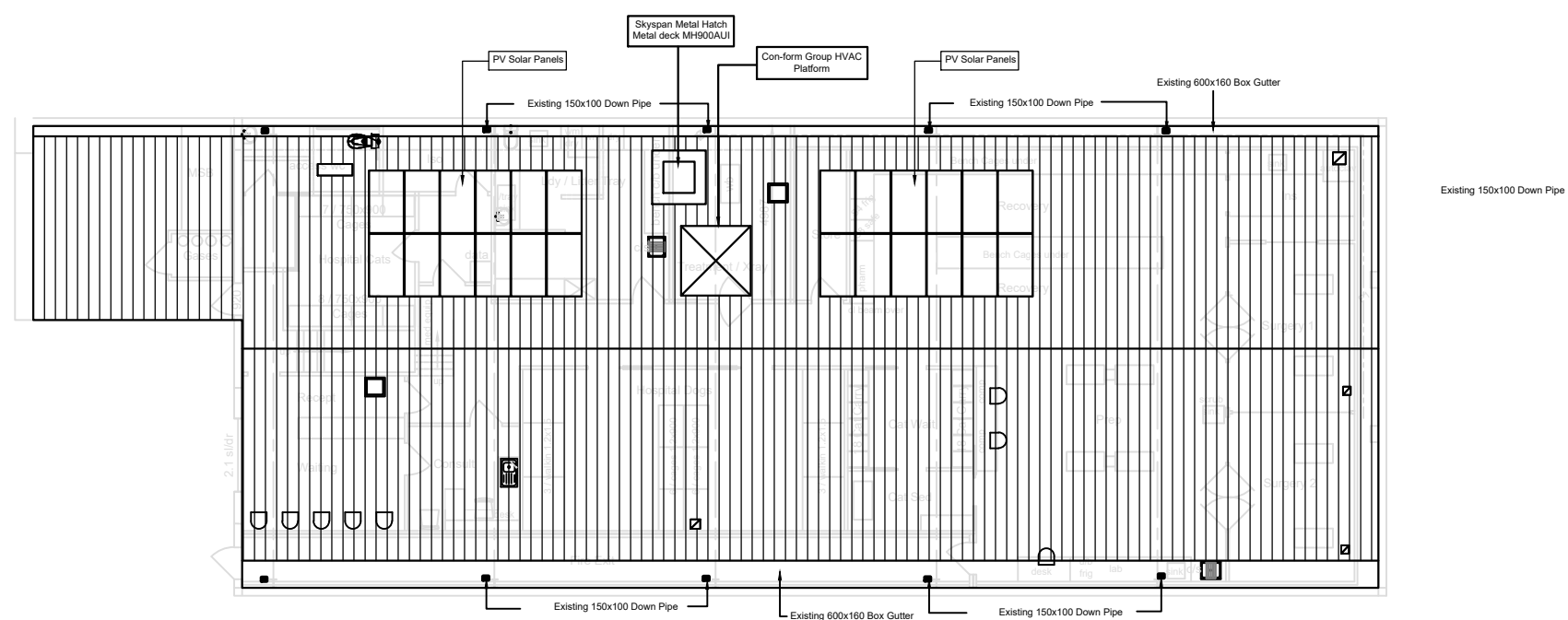
Email: dw@dwslbaxter.com.au

Project: **CHANGE OF USE  
RENOVATION OF EXISTING FACTORY  
70A - 70B HARLEY CRESCENT  
CONDELL PARK  
RSPCA NSW SPEY CLINIC**

Client: **RSPCA NSW  
70A - 70B HARLEY CRESCENT  
CONDELL PARK**

Drawing: **GASES PLAN**

Scale	1 : 100 @ A1 1 : 200 @ A3	Drawn: DWB	Date: 28/10/2024
Revision:	H	Date: 30/10/2024	Drawing Number: 4251/10



Revision		
H	DA PLANS	12/12/2024
F	CLIENT CHANGES	28/10/2024

**Consultant:**

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**DW & SL Baxter Pty Ltd**

ACN 117 933 898

**Project:** CHANGE OF USE  
RENOVATION OF EXISTING FACTORY  
70A - 70B HARLEY CRESCENT  
CONDELL PARK  
RSPCA NSW SPEY CLINIC

Client: RSPCA NSW  
70A - 70B HARLEY CRESCENT  
CONDELL PARK

Drawing:	ROOF PLAN
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<b>Scale</b> 1 : 100 @ A1 1 : 200 @ A3	<b>Drawn:</b> DWB	<b>Date:</b> 28/10/2024
<b>Revision:</b> H	<b>Date:</b> 30/10/2024	<b>Drawing Number:</b> 4251/11



# **END OF REPORT**

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# Signature Certificate

Reference number: I9BR7-CD8ZT-ZZMAN-SGBFW

## Signer

**Hamish Mehdinezhad**

Email: contracts@hmsggrp.com.au

Sent:

Signed:

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